

BOSTON CAMBRIDGE, MA OUTDOOR PATIO

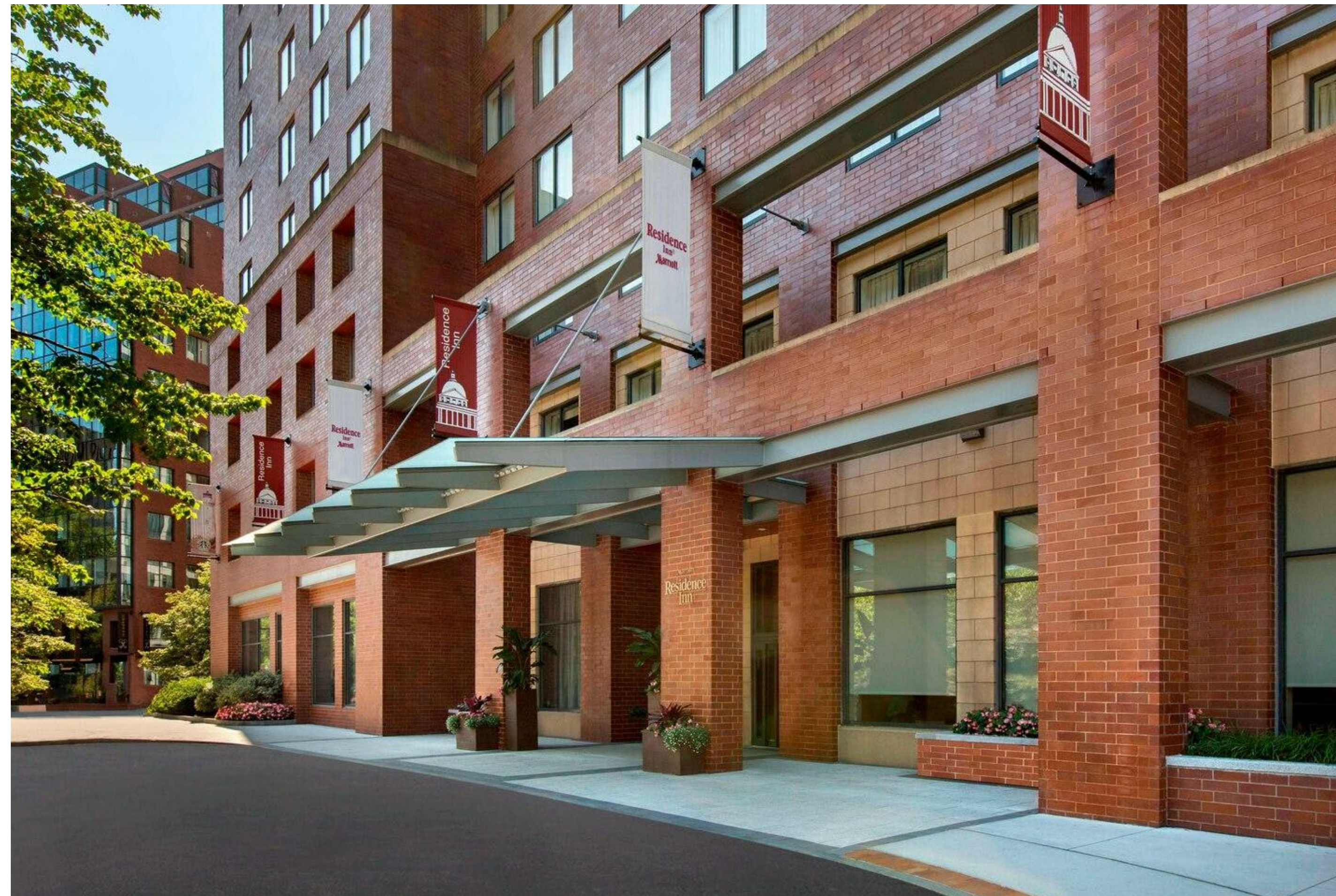
PROJECT TEAM

OWNER:	FULCRUM HOSPITALITY, LLC C/O AJAX CONSULTING SERVICES, LLC.
ARCHITECT:	JEFFREY A. WILLIAMS, ARCHITECT 15200 52ND AVE SOUTH SEATTLE, WA 98188 PHONE: 206.766.8300 EMAIL: jwilliams@johnsonbrand.com
PROJECT DIRECTOR:	KARL STEINER AJAX CONSULTING SERV. LLC 21 WORTHEN ROAD, SUITE 102 LEXINGTON, MA 02421 PHONE: 781.863.5070
MEP ENGINEER:	ROBISON ENGINEERING INC. 19401 40TH AVE W, SUITE 302 LYNNWOOD, WA 98036 PHONE: 206.364.3343
STRUCTURAL ENGINEER:	N/A
KITCHEN CONSULTANT:	N/A
INTERIOR DESIGN:	WILD MUSE INTERIORS 6300 E HAMPDEN AVE C 304 DENVER, CO 80222

CODE INFORMATION

JURISDICTION:	CITY OF CAMBRIDGE CITY HALL 735 MASSACHUSETTS AVE, CAMBRIDGE, MA 02139 PHONE: 617.349.4000
CODE INFORMATION	
BUILDING CODES:	IBC 2015
PLUMBING CODE:	248 CMR 10.00: UNIFORM STATE PLUMBING CODE
MECHANICAL CODE:	IMC 2015
ELECTRICAL CODE:	NEC 2017/ MASSACHUSETTS ELECTRICAL CODE AMENDMENTS
ACCESSIBILITY CODE:	521 CMR ARCHITECTURAL ACCESS BOARD
FIRE AND LIFE SAFETY:	IFC 2015
BUILDING INFORMATION	
ORIGINAL BUILDING BUILDING CODE:	UNKNOWN. BUILT IN 1997.
CURRENT BUILDING CONSTRUCTION TYPE: USE GROUP:	TYPE - 1A A1 - R2
TOTAL:	181,700 SQ. FT
MEANS OF EGRESS:	UNMODIFIED BY THE CONSTRUCTION. OCCUPANT LOADS, DIRECTION OF TRAVEL, NUMBER OF EXITS SEPARATION OF EXITS IS UNCHANGED U.O.N. RE: R003.

PROJECT IMAGE



SHEET INDEX

Sheet #	Sheet Name	Current Rev#
A - Architectural Drawings Cover		
H000	COVER SHEET	
H001	EXISTING SITE PLAN	
B - Architectural Drawings		
H112	OUTDOOR PATIO DEMOLITION AND ARCHITECTURAL PLANS	
H112A	OUTDOOR PATIO DETAILS	
H112B	OUTDOOR LIGHTING PLAN	
Grand total: 5		



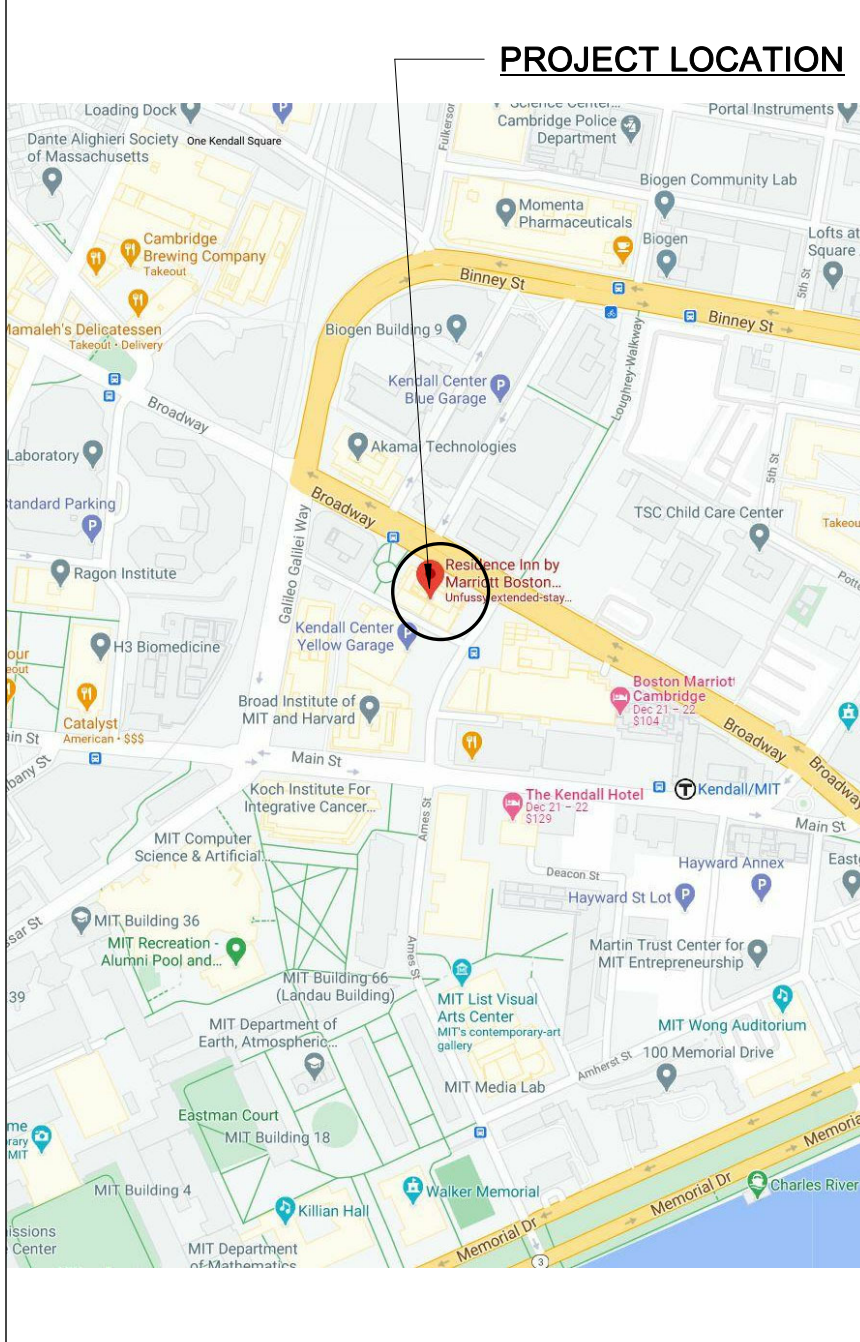
PROJECT AGENCIES

BUILDING DEPARTMENT:	CAMBRIDGE INSPECTIONAL SERVICES DEPARTMENT 831 MASSACHUSETTS AVENUE CAMBRIDGE, MA 02139 PHONE: 617.349.6100
HEALTH DEPARTMENT:	CAMBRIDGE PUBLIC HEALTH DEPARTMENT 119 WINDSOR STREET CAMBRIDGE, MA 02139 PHONE: 617.665.3826
FIRE DEPARTMENT:	CAMBRIDGE FIRE DEPARTMENT 491 BROADWAY CAMBRIDGE, MA 02138 PHONE: 617.349.4900

TYPICAL MATERIAL LEGEND

	BATT INSULATION
	WOOD
	RIGID INSULATION
	CONCRETE
	STEEL
	EARTH
	MASONRY
	DIMENSIONAL LUMBER
	WOOD BLOCKING
	SAND
	PLYWOOD
	FOAM IN PLACE INSULATION
	SPRAY ON FIRE PROOFING

VICINITY MAP



SUMMARY OF WORK

SITING:
THIS BUILDING IS EXISTING. SCOPE OF WORK INCLUDES NEW CONCRETE PATIO FOR NEW OUTDOOR SPACE AND SEATING. NEW FIRE PIT AND BUILT-IN COUNTERTOP WITH FIRE ELEMENT IS INCLUDED WITHIN THE NEW OUTDOOR SEATING AREA.

ELECTRICAL
MINOR ELECTRICAL MODIFICATIONS FOR OUTDOOR LIGHTING ARE REQUIRED. ELECTRICAL LOAD OF BUILDING WILL REMAIN AS IS.

PLUMBING
GAS LINES TO BE MODIFIED PER NEW SPACE PLAN.

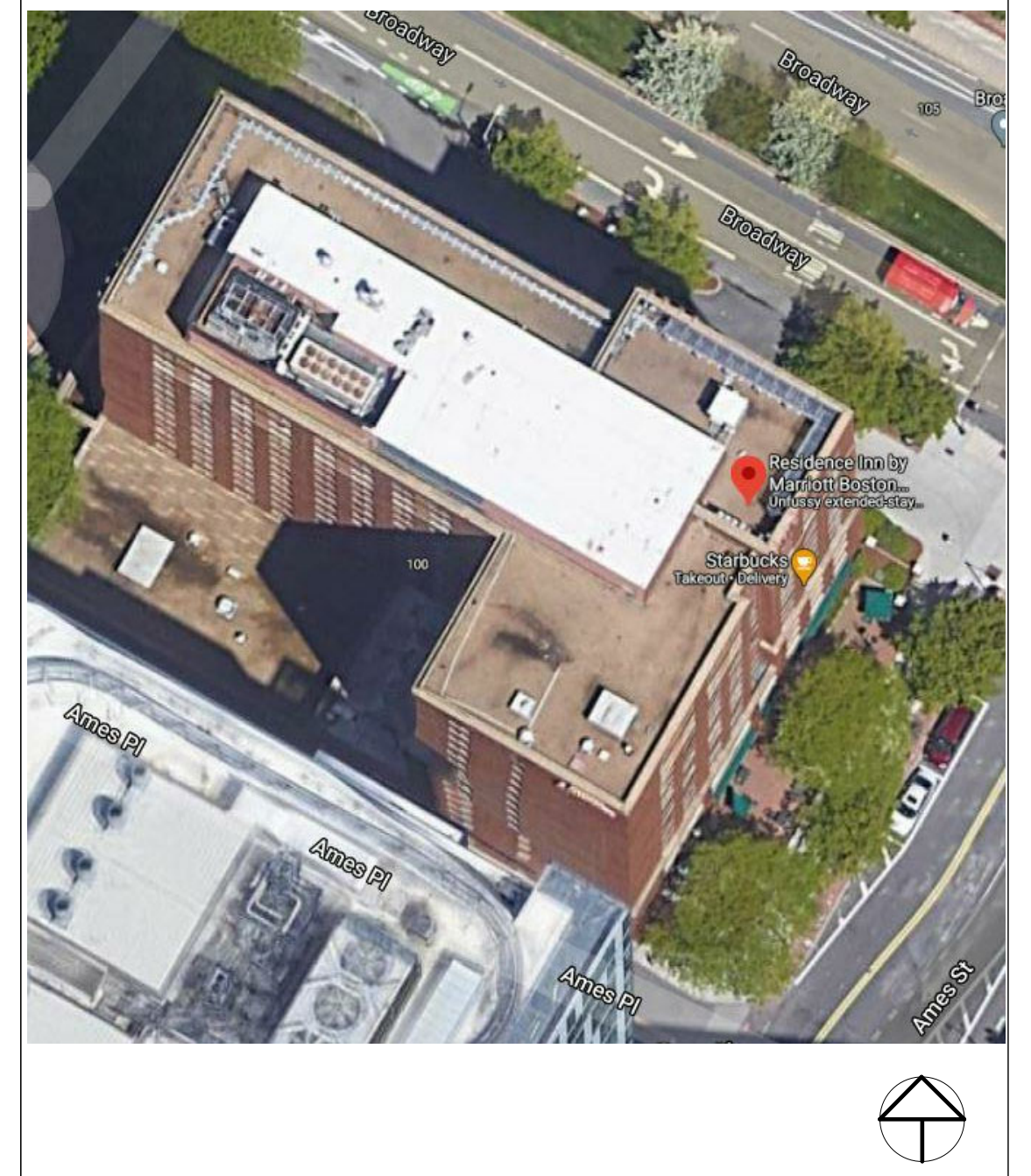
GENERAL NOTES AND ABBREVIATIONS

- ALL WORK TO BE DONE IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH GOVERNING CODES & REGULATORY AGENCIES.
 - OWNER TO OBTAIN ALL PERMITS & COMPLY WITH ALL REQUIREMENTS OF LICENSING AGENCIES. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - AREA AND DIMENSIONS: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL AREA TAKEOFFS AND DIMENSIONS BY MAKING HIS OWN FIELD MEASUREMENTS BEFORE STARTING WORK OR ORDERING MATERIALS. THE REMOVAL AND INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING AND ARCHITECTURAL ITEMS MAY REQUIRE THE PENETRATION OR REMOVAL OF FLOORS, CEILINGS AND WALLS OF ADJACENT ROOMS AND FLOORS. PATCH AND FINISH ALL EXISTING SURFACES THAT ARE DISTURBED DURING CONSTRUCTION, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. TAKE PRECAUTIONS AS NECESSARY TO PROTECT THEM. REPAIR ALL UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - ALL FINISHES AS SELECTED BY OWNER, AND SIMILAR TO THE MARRIOTT RESIDENCE INN RENOVATION PROTOTYPE FINISH SCHEDULE.
 - EXTEND CIRCUITS TO EXISTING FIXTURES TO REMAIN WHERE EXISTING WHERE EXISTING CIRCUITS ARE INTERRUPTED BY REMODEL WORK.
- | | | | |
|------|--|--------|---------------------------------------|
| ACT | ACOUSTICAL CEILING TILE | OPP | OPPOSITE HAND |
| ALUM | ALUMINUM | OFCI | OWNER FURNISHED, CONTRACTOR INSTALLED |
| CFCI | CONTRACTOR FURNISHED, CONTRACTOR INSTALLED | PD | PROJECT DIRECTOR |
| CLR | CLEAR, CLEARANCE | PLAM | PLASTIC LAMINATE |
| CPT | CARPET | PLWD | PLYWOOD |
| ELEC | ELECTRICAL | PNT | PAINT |
| EQ | EQUAL | PT | PORCELAIN TILE |
| FD | FLOOR DRAIN | RCP | REFLECTED CEILING PLAN |
| FEC | FIRE EXTINGUISHER CABINET | RE | REFERENCE |
| GC | GENERAL CONTRACTOR | REF | REFERENCE |
| GWB | GYPSON W/VENTILATION/AIR CONDITIONING | REQD | REQUIRED |
| GYP | GYPSON | SC | SOLID CORE |
| HVAC | HEATING/VENTILATION/AIR CONDITIONING | SPEC | SPECIFICATION |
| MAX | MAXIMUM | SS | STAINLESS STEEL |
| MEP | MECHANICAL/ELECTRICAL/PLUMBING | TYP | TYPICAL |
| MI | MARRIOTT INTERNATIONAL | UNO | UNLESS NOTED OTHERWISE |
| MIN | MINIMUM / MINUTE | UNON | UNLESS OTHERWISE NOTED |
| MTL | METAL | V.I.F. | VERIFY IN FIELD |
| NTS | NOT TO SCALE | VWC | VINYL WALLCOVERING |
| OC | ON CENTER(S) | WD | WOOD |
| | | WPT | SIMULATED WOOD PORCELAIN TILE |

SYMBOLS LEGEND

Room name	Room Tag	Name Elevation	DATUM ELEVATION
101	ROOM TAG		DATUM ELEVATION
?	KEYNOTE / CRITERIA		REFERENCE ELEVATION
?	CUSTOM KEYNOTE		CEILING ELEVATION
-	BID ALTERNATE NOTE		REVISION TAG
1i	WALL TAG	XX-999 R/L	FF&E REFERENCE TAG
01	DOOR TAG	Wood X Tile	FLOOR FINISH TRANSITION
1i	WINDOW TAG	2' - 6"	DIMENSION TO FACE
12	EQUIPMENT TAG	2' - 6"	CLEAR DIMENSION
?	FINISH / MATERIAL TAG	2' - 6"	DIMENSION TO CENTERLINE
℄	CENTER LINE	1 / A101	VIEW REFERENCE
	BUILDING ELEVATION		COMMUNICATION FEATURES
	INTERIOR ELEVATION		ACCESSIBLE UNIT
	BUILDING SECTION		DETAIL REFERENCE
	WALL SECTION		DETAIL SECTION
		1 HR	
		2 HR	

AERIAL VIEW



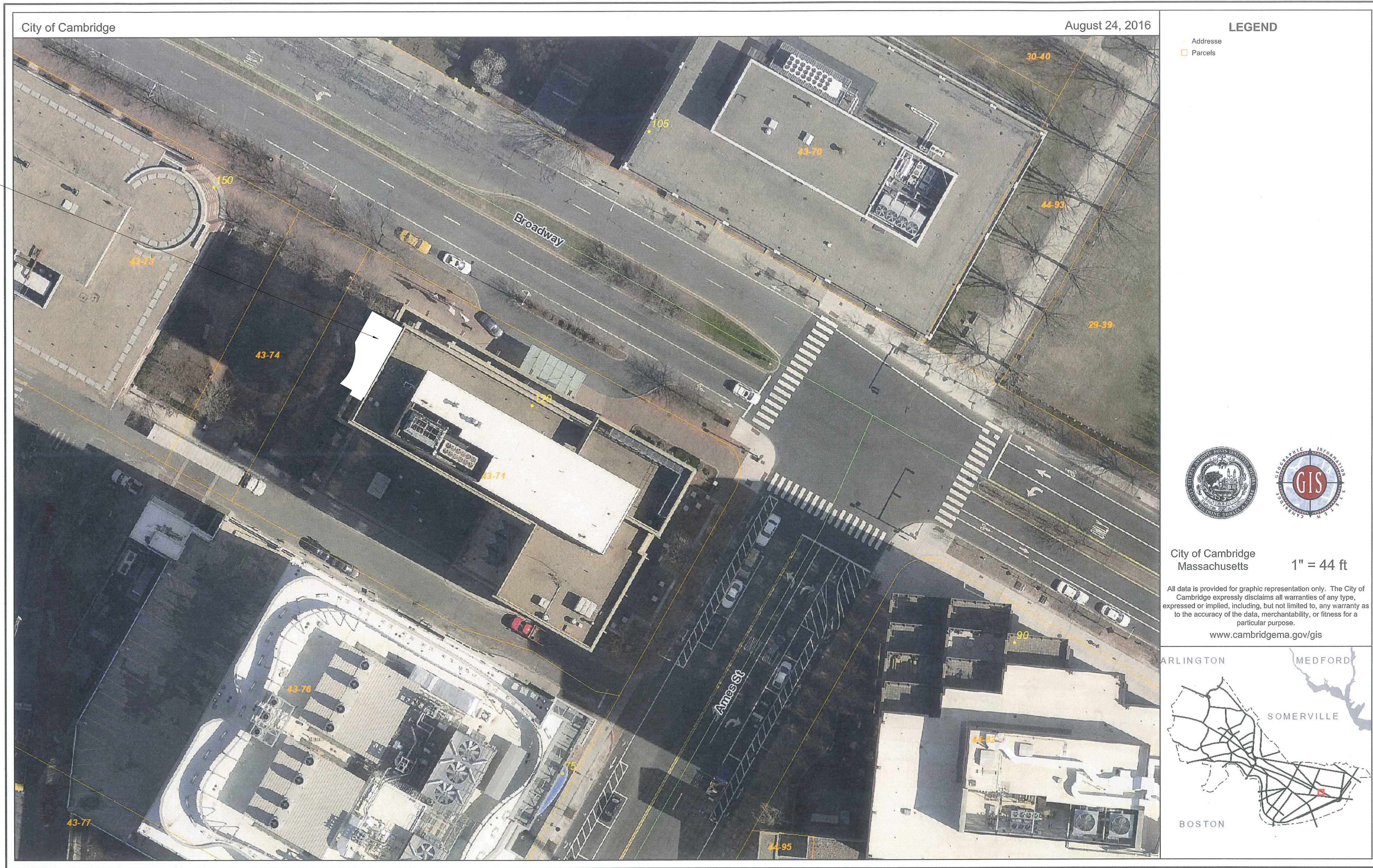
RESIDENCE INN BY MARRIOTT -
BOSTON CAMBRIDGE, MA
OWNER: FULCRUM HOSPITALITY
120 BROADWAY, CAMBRIDGE MA 02142
PHONE: 617.349.0700

Residence INN
BY MARRIOTT

PROJECT #: 2021
DRAWN BY: BA
CHECKED BY: IO

COVER SHEET

H000



City of Cambridge

August 24, 2016

LEGEND
 ● Address
 □ Parcels



City of Cambridge
 Massachusetts
 1" = 44 ft

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www.cambridgema.gov/gis



AREA OF WORK

1 EXISTING SITE PLAN
 N.T.S.

SITE NOTES
 NO ON-SITE PARKING PROVIDED -
 PARKING AVAILABLE IN OFF-SITE PUBLIC GARAGE

NOTE:
 THIS SITE PLAN IS FOR REFERENCE ONLY. SCOPE OF WORK IN THIS CONTRACT DOES NOT INCLUDE ANY MODIFICATIONS TO THE EXISTING SITE.

Rev#	Date	Description
1	10/27/2021	OUTDOOR PATIO DESIGN REVIEW SUBMITTAL
2	11/04/2021	OUTDOOR PATIO DESIGN REVIEW SUBMITTAL II

ISSUE DATE: 10/08/2021

**RESIDENCE INN BY MARRIOTT -
 BOSTON CAMBRIDGE, MA**
 OWNER: FULCRUM HOSPITALITY
 120 BROADWAY, CAMBRIDGE MA 02142
 PHONE: 617.349.0700

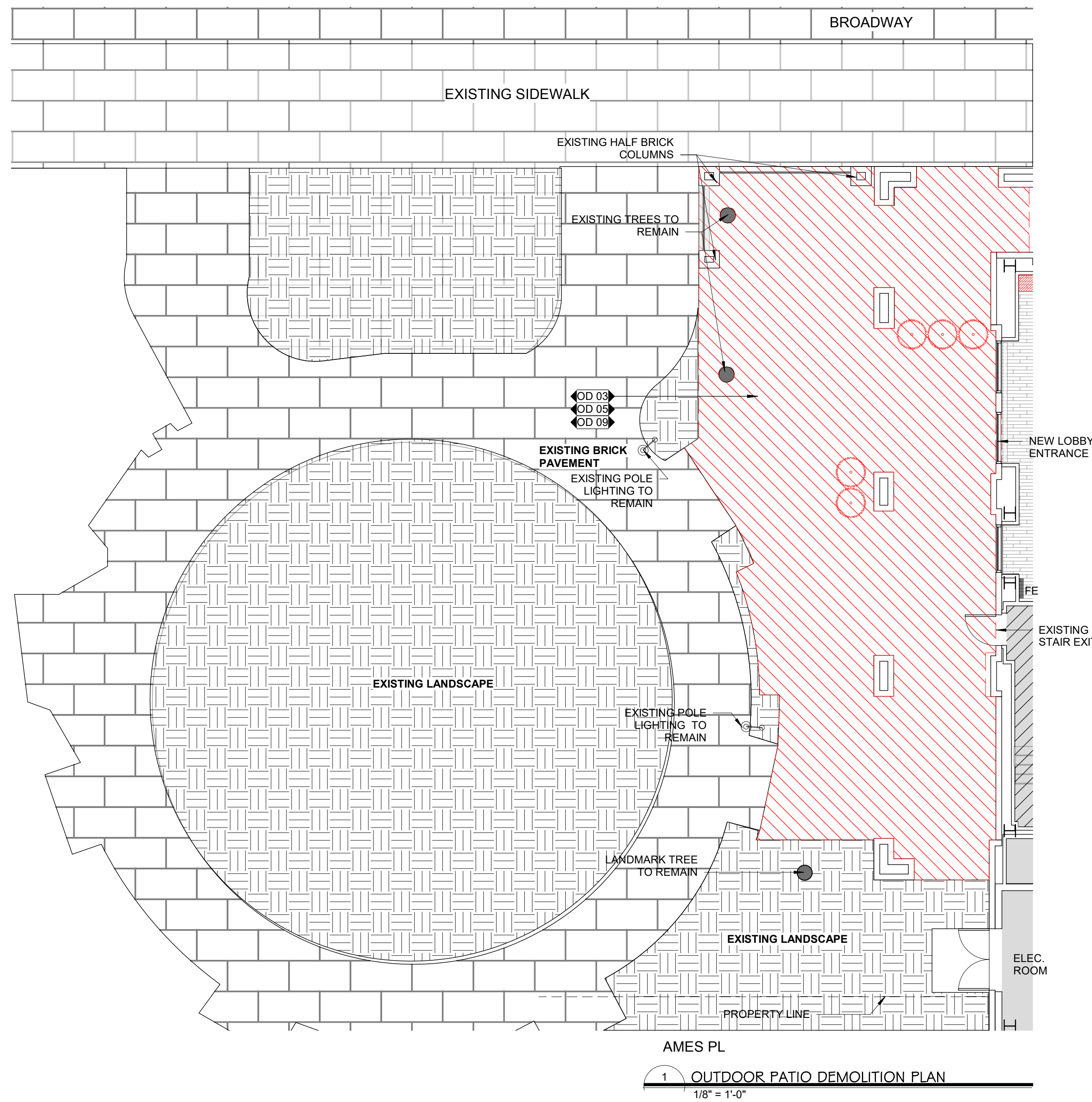
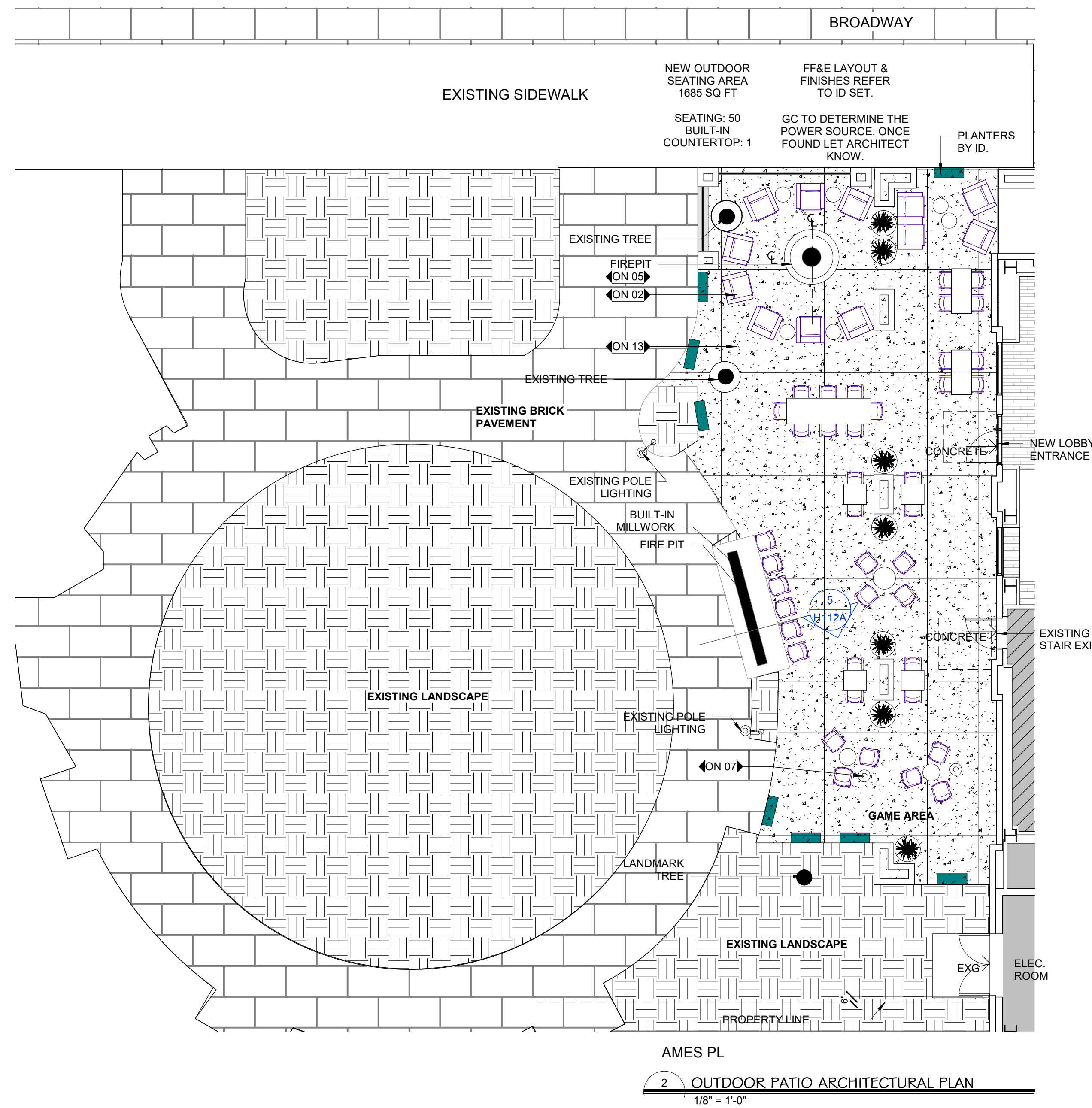
Residence INN
 BY MARRIOTT

PROJECT #: 2021
 DRAWN BY: BA
 CHECKED BY: IO

EXISTING SITE PLAN

H001

FILE NAME: C:\Users\burcu\Documents\RI Boston Cambridge_MA_Central_1st floor 2021_Outdoor Experience_burcu@johnsonbrand.com.rvt



PROJECT / KEYNOTE

KEYNOTES - DEMOLITION

OD 03 DEMO EXISTING LANDSCAPING PER PLAN.
 OD 05 DEMO EXISTING HARDSCAPE/LANDSCAPE PER PLANS AND PREPARE FOR NEW GAS FIRE-PIT INSTALLATION. RE: MEP DRAWINGS
 OD 09 REMOVE EXISTING SHRUBS PER PLANS.

KEYNOTES - NEW CONSTRUCTION

ON 02 INSTALL NEW OWNER PROVIDED OUTDOOR FURNITURE.
 ON 05 INSTALL NEW GAS FIRE-PIT PER PLANS. RE: MEP DRAWINGS
 ON 07 INSTALL NEW PATIO HEATERS PER PLANS. SPEC: HAMPTON BAY NCZH-G-SS.
 ON 13 LEVEL 10'X 10' CONCRETE PAD.

JEFFREY A. WILLIAMS
ARCHITECT
15200 52nd Ave. South
Suite 300
Seattle, WA 98188
Phone 206.766.8300



GENERAL NOTES

- DASHED LINES INDICATE CONSTRUCTION TO BE DEMOLISHED.
- FLOOR AND CEILING PLANS ARE BASED ON EXISTING BUILDING PLANS AND SITE SURVEY. THEY ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. GC TO VISIT SITE PRIOR TO CONSTRUCTION FOR VERIFICATION.
- GC TO FIELD VERIFY WALLS, COLUMNS AND ALL ELEMENTS TO BE DEMOLISHED ARE NON-STRUCTURAL PRIOR TO DEMOLITION. IF WALLS, COLUMNS OR OTHER STRUCTURAL ELEMENTS ARE FOUND WITHIN THE PROPOSED DEMOLITION AREA, OR EXISTING CONDITIONS VARY FROM PLANS, NOTIFY THE PROJECT DIRECTOR BEFORE PROCEEDING.
- PROTECT EXISTING FINISHES TO REMAIN.
- DIMENSIONS TO EXISTING MATERIALS SHOWN ARE TO FACE OF FINISH U.O.N.
- WHEN REMOVING EXISTING VWC DO NOT ALLOW PAPER SURFACE OF DRYWALL TO BE TORN. PATCH EXISTING FLOOR, WALL AND CEILING SURFACES IN AREA OF DEMOLITION AS NEEDED TO RECEIVE NEW FINISHES.
- AFTER REMOVAL OF PLUMBING LINES ETC. FILL ALL OPENINGS IN CONCRETE FLOOR WITH CONCRETE PATCHES. MAINTAIN REQUIRED FIRE RATING.
- EXISTING FIRE ALARM DEVICES AND SPRINKLERS CONFLICTING WITH NEW CONSTRUCTION TO BE RELOCATED BY GC ACCORDING TO GOVERNING LOCAL CODES.
- FIRE PROTECTION SYSTEM TO REMAIN OPERATIONAL DURING CONSTRUCTION. ALL LOBBY SERVICES TO REMAIN OPERATIONAL DURING CONSTRUCTION. GC TO COORDINATE WITH PROJECT DIRECTOR AND HOTEL OPERATIONS TEMPORARY LOBBY AREAS OF SERVICE PRIOR TO CONSTRUCTION START.
- EXISTING CAT, DATA, VOICE AND OTHER HOTEL OPERATION SYSTEM CABLES TO REMAIN INTACT DURING CONSTRUCTION. GC TO COORDINATE RELOCATION OF BOXES AND DATA PORTS WITH OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION START.
- DEMOLITION OF PARTITIONS WITH ELECTRICAL DEVICES TO BE COORDINATED WITH ELECTRICAL CONTRACTOR. ELECTRICAL TERMINATIONS TO BE PERFORMED BY ELECTRICAL CONTRACTOR.
- WHERE EXISTING ELECTRICAL IS PERMANENTLY REMOVED, ALL ASSOCIATED BOXES, DEVICES AND WIRING TO BE REMOVED BACK TO SOURCE. EXISTING CONDUIT THAT IS NOT ACCESSIBLE TO BE ABANDONED AFTER IT IS STRIPPED OF ALL WIRING.
- REMOVE & RELOCATE EXISTING THERMOSTAT AS NEEDED.
- REMOVE ALL GRAPHICS THROUGHOUT LOBBY, MEETING ROOMS, PUBLIC RESTROOMS AND EXERCISE ROOM. PROTECT AND SAVE FOR REINSTALLATION. COORDINATE REINSTALLATION WITH PROJECT DIRECTOR.

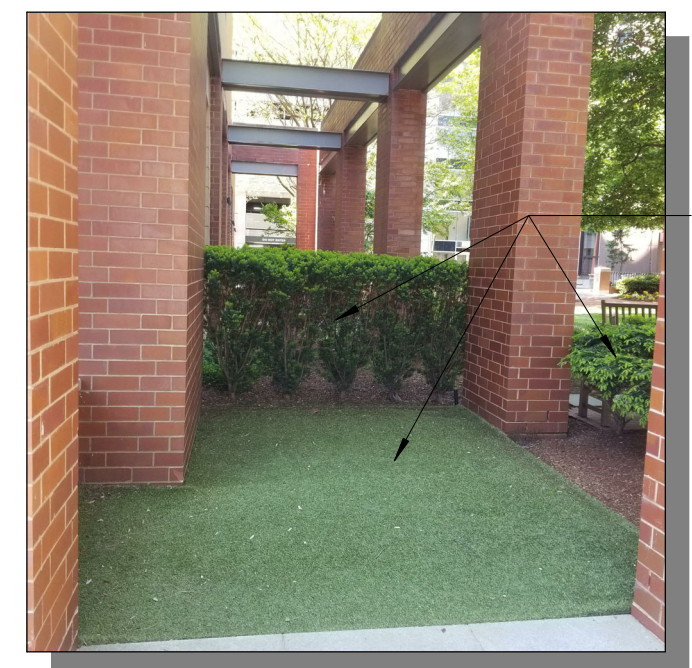
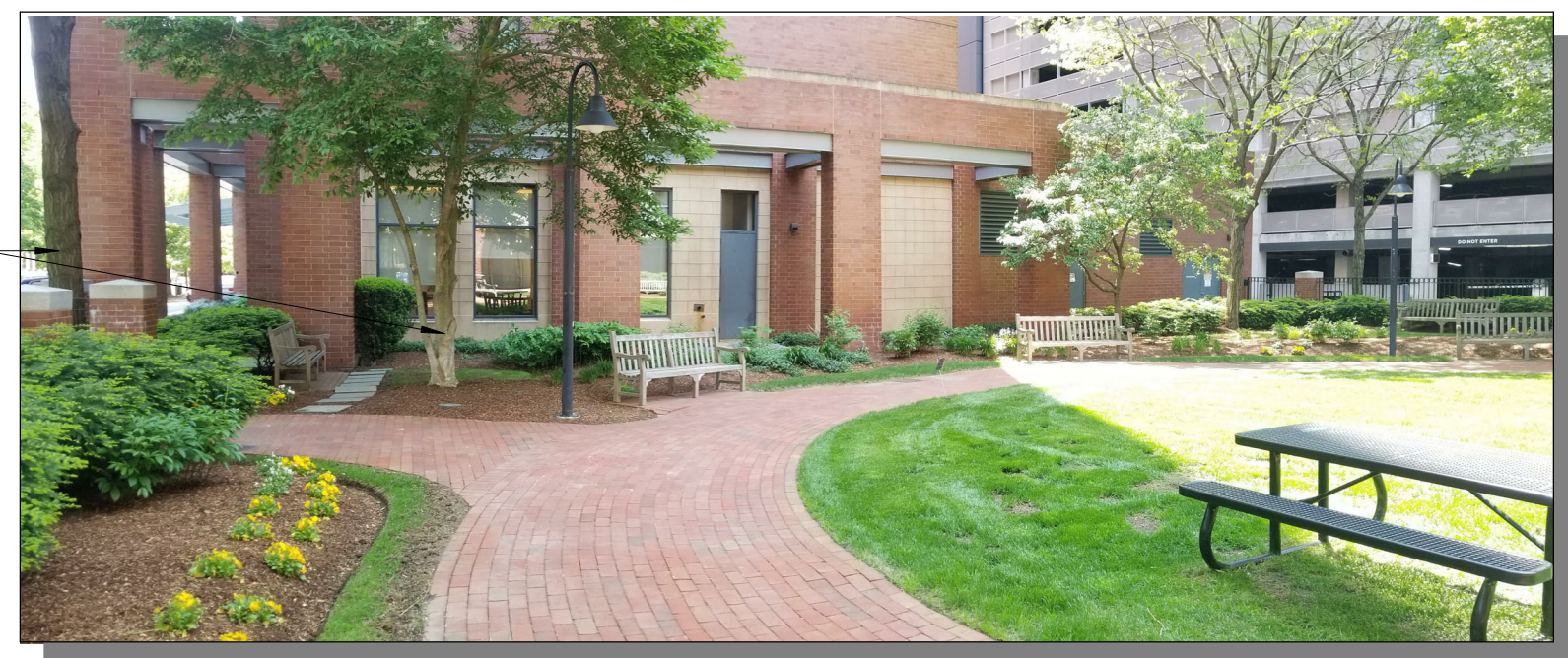
Description	Date	Rev#
OUTDOOR PATIO DESIGN REVIEW SUBMITTAL II	11/14/2021	
OUTDOOR PATIO DESIGN REVIEW SUBMITTAL I	10/27/2021	

ISSUE DATE: 10/08/2021

RESIDENCE INN BY MARRIOTT - BOSTON CAMBRIDGE, MA
 OWNER: FULCRUM HOSPITALITY
 120 BROADWAY, CAMBRIDGE MA 02142
 PHONE: 617.349.0700



II OUTDOOR PATIO
H112 NOT TO SCALE



I OUTDOOR PATIO
H112 NOT TO SCALE

SYMBOL LEGEND

- DOOR TAG
- WINDOW TAG
- FINISH TAG
- FF&E TAG
- WALL TAG
- KEYNOTE TAG
- CUSTOM KEYNOTE TAG
- ALTERNATE BID KEYNOTE TAG
- REVISION TAG
- DEMOLISHED AREA/ITEM
- EXISTING AREA/ITEM
- AREA NOT IN CONTRACT
- AREA IN GUESTROOM SET

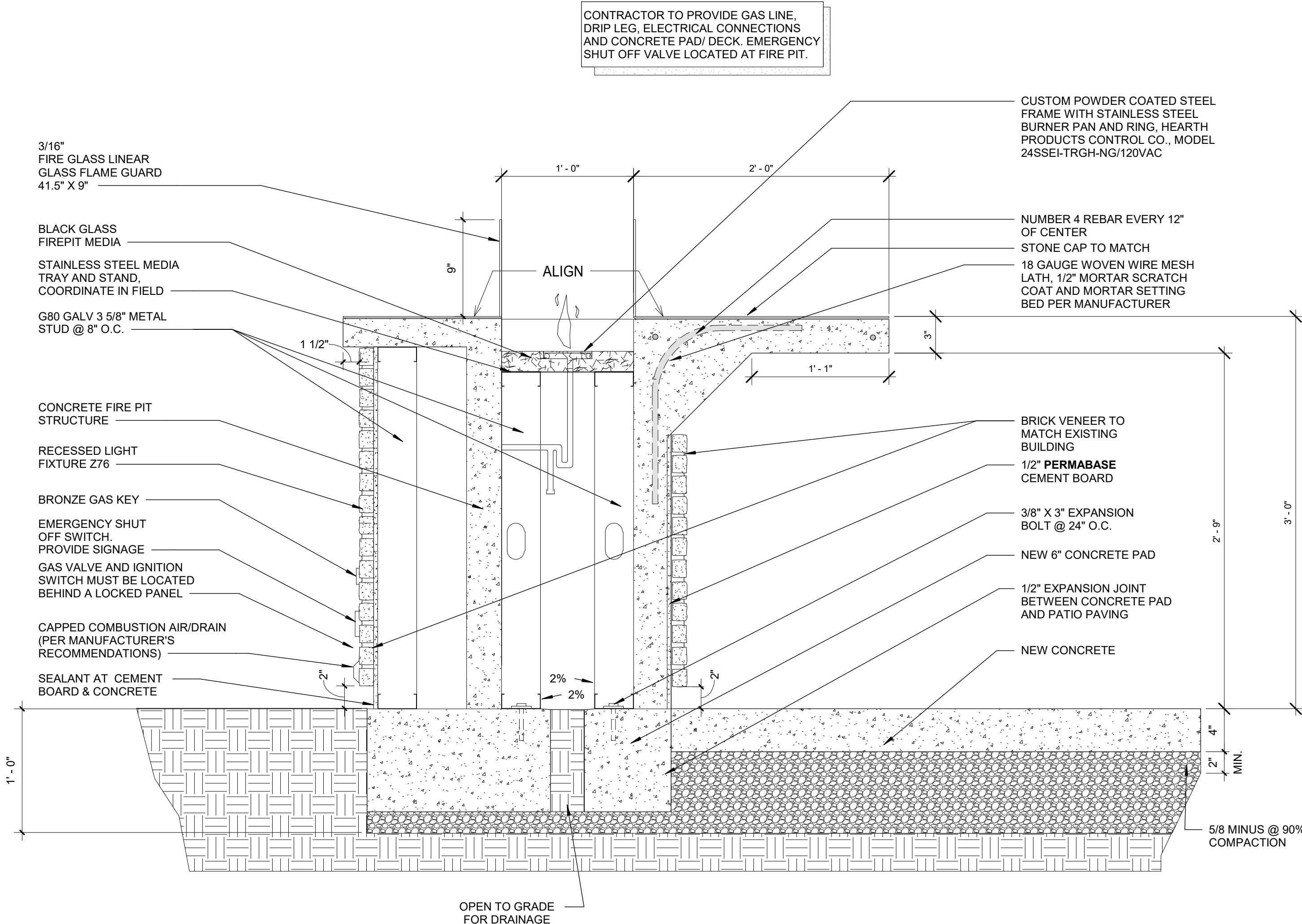
Residence INN BY MARRIOTT

PROJECT #: 2021
 DRAWN BY: BA
 CHECKED BY: EHT

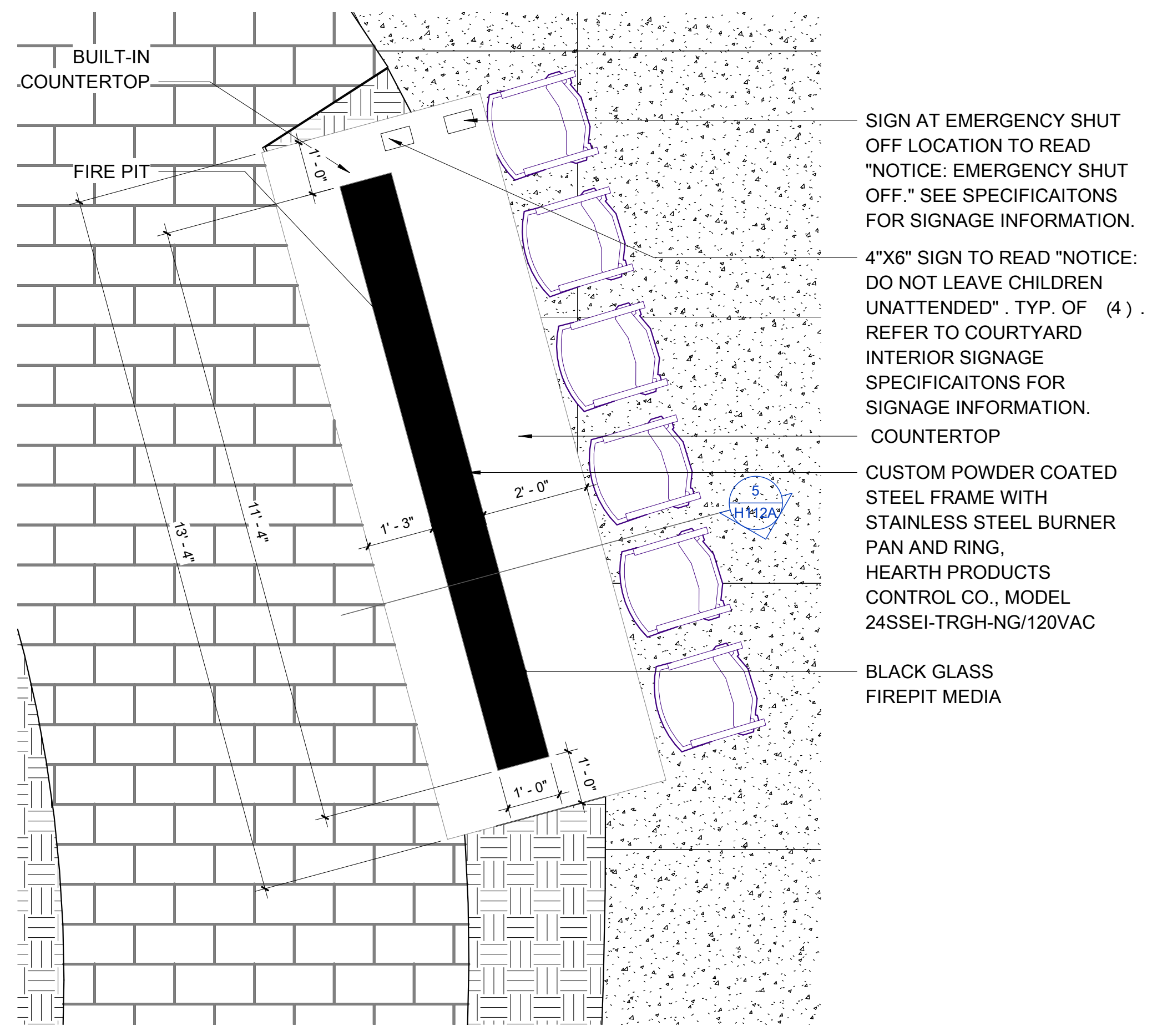
OUTDOOR PATIO DEMOLITION AND ARCHITECTURAL PLANS

H112

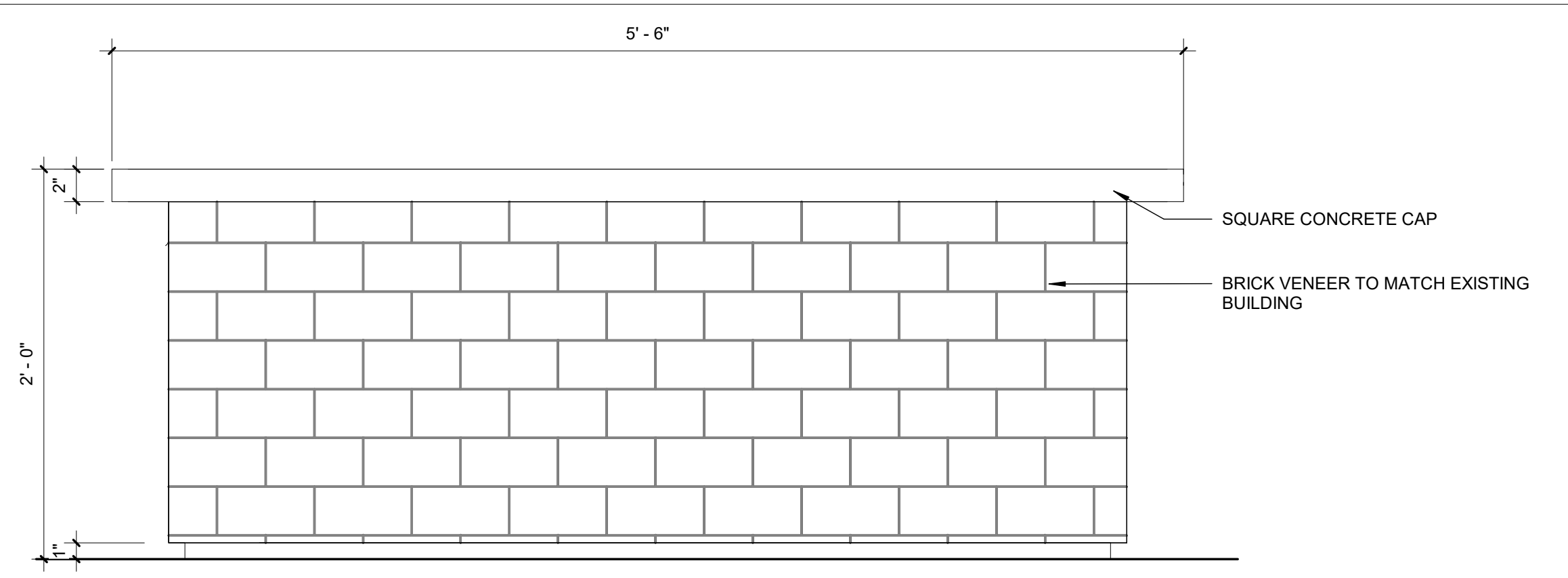
FILE NAME: C:\Users\burcu\Documents\RI Boston Cambridge_MA_Central_1st floor 2021_Outdoor Experience_burcu@johnsonbraund.com.rvt



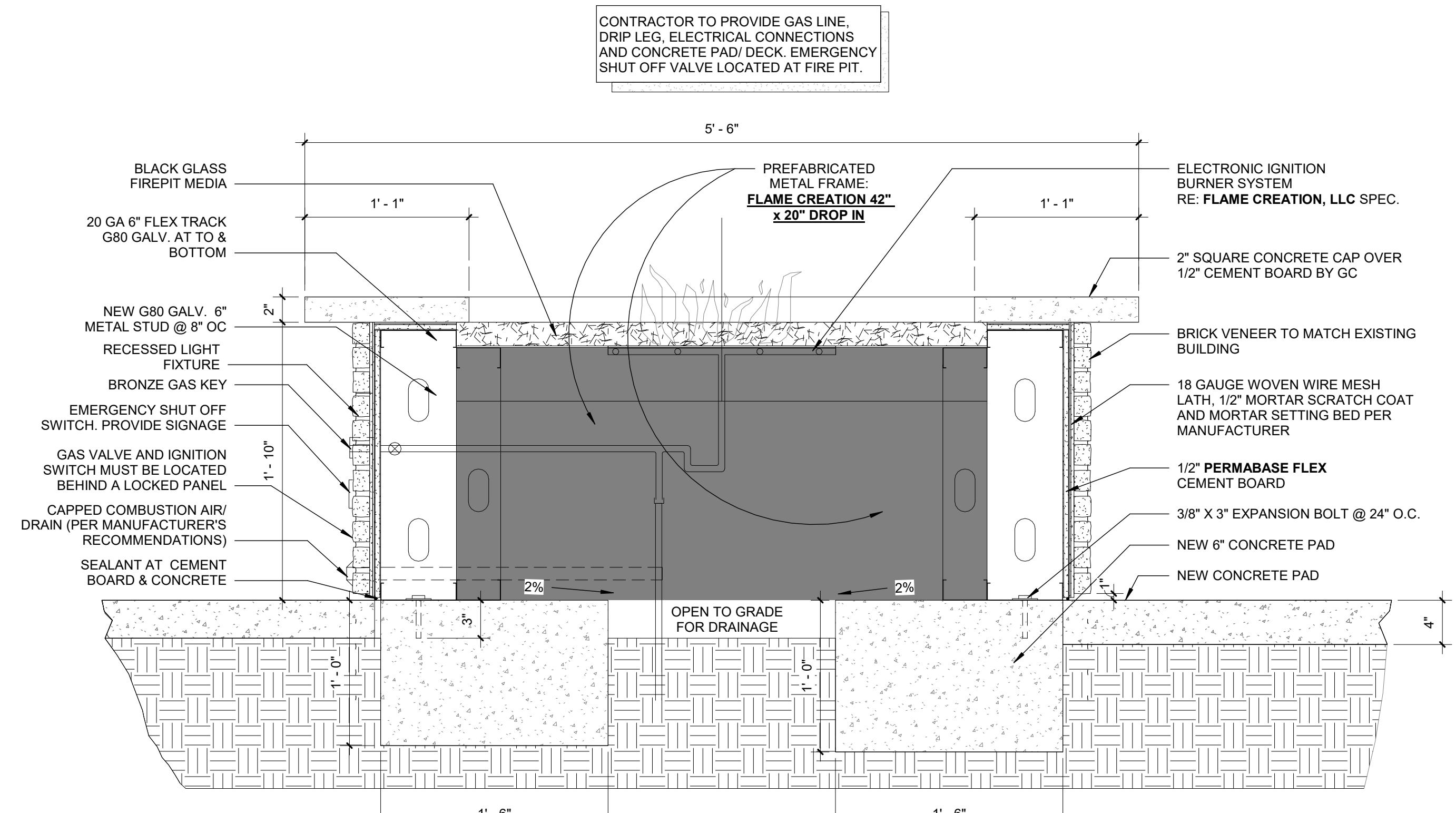
5 COUNTERTOP FIRE PIT - SECTION
1 1/2" = 1'-0"



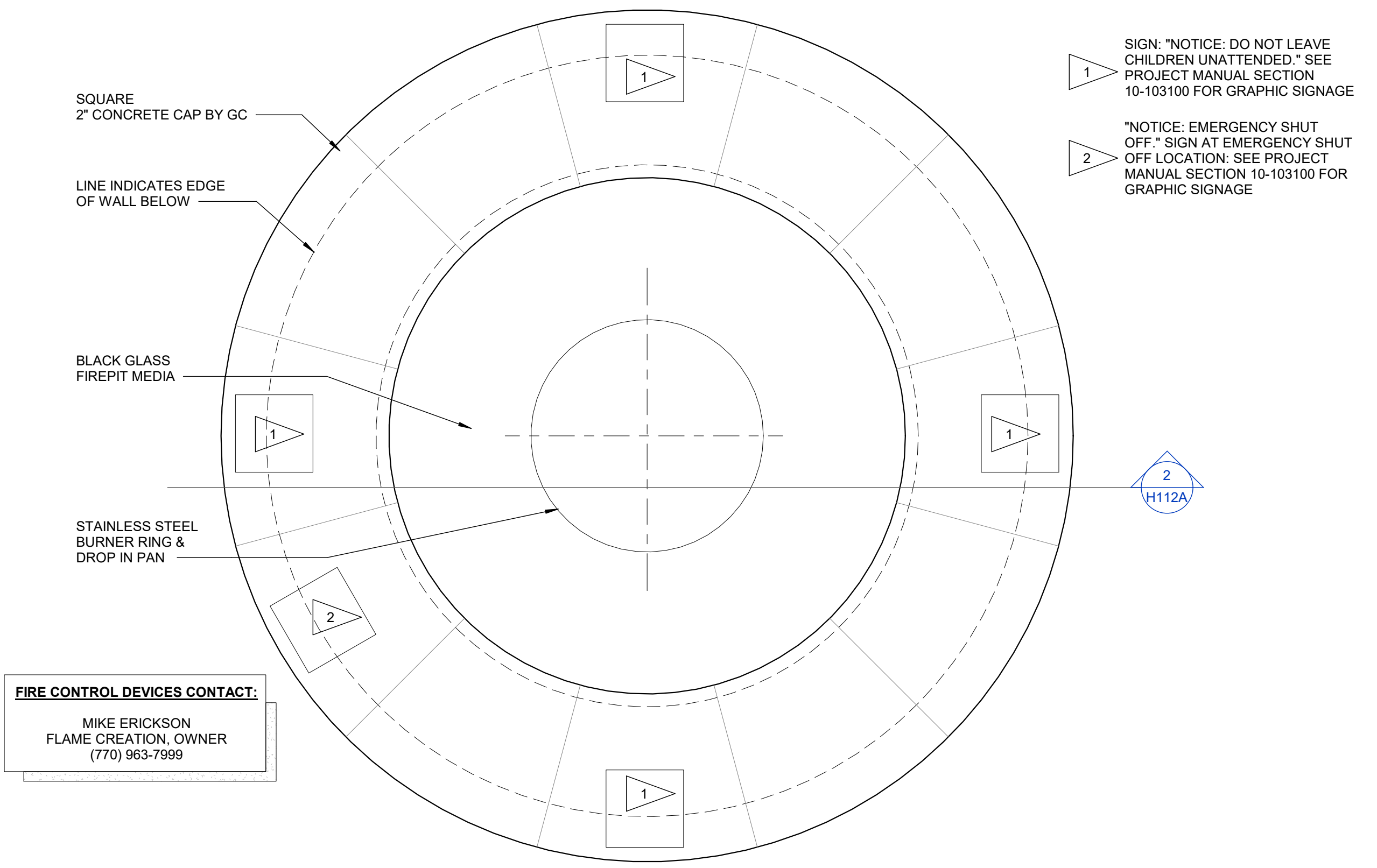
4 COUNTERTOP FIRE PIT - PLAN
1/2" = 1'-0"



3 FIRE PIT - ELEVATION
1 1/2" = 1'-0"



2 FIRE PIT - SECTION
1 1/2" = 1'-0"



1 FIRE PIT - PLAN
1 1/2" = 1'-0"

CONTRACTOR TO PROVIDE GAS LINE, DRIP LEG, ELECTRICAL CONNECTIONS AND CONCRETE PAD/DECK. EMERGENCY SHUT OFF VALVE LOCATED AT FIRE PIT.

CONTRACTOR TO PROVIDE GAS LINE, DRIP LEG, ELECTRICAL CONNECTIONS AND CONCRETE PAD/DECK. EMERGENCY SHUT OFF VALVE LOCATED AT FIRE PIT.

SIGN AT EMERGENCY SHUT OFF LOCATION TO READ "NOTICE: EMERGENCY SHUT OFF." SEE SPECIFICATIONS FOR SIGNAGE INFORMATION.

4"x6" SIGN TO READ "NOTICE: DO NOT LEAVE CHILDREN UNATTENDED". TYP. OF (4). REFER TO COURTYARD INTERIOR SIGNAGE SPECIFICATIONS FOR SIGNAGE INFORMATION.

COUNTERTOP
CUSTOM POWDER COATED STEEL FRAME WITH STAINLESS STEEL BURNER PAN AND RING, HEARTH PRODUCTS CONTROL CO., MODEL 24SSEI-TRGH-NG/120VAC

BLACK GLASS FIREPIT MEDIA

1 SIGN: "NOTICE: DO NOT LEAVE CHILDREN UNATTENDED." SEE PROJECT MANUAL SECTION 10-103100 FOR GRAPHIC SIGNAGE

2 "NOTICE: EMERGENCY SHUT OFF" SIGN AT EMERGENCY SHUT OFF LOCATION. SEE PROJECT MANUAL SECTION 10-103100 FOR GRAPHIC SIGNAGE

FIRE CONTROL DEVICES CONTACT:
MIKE ERICKSON
FLAME CREATION, OWNER
(770) 963-7999

JEFFREY A. WILLIAMS AIA
ARCHITECT
15200 52nd Ave. South
Suite 300
Seattle, WA 98188
Phone 206.766.8300



Rev#	Date	Description
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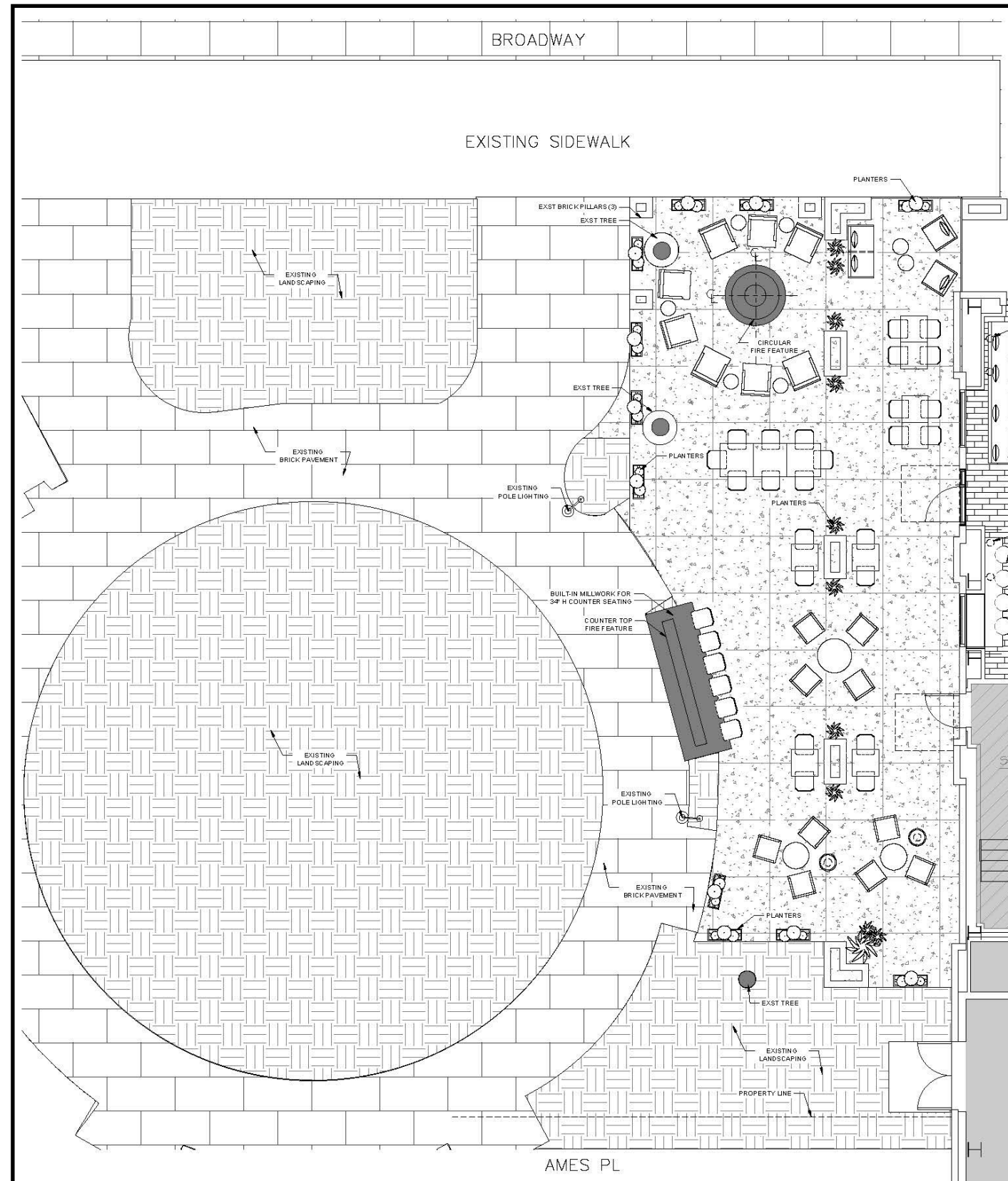
Residence INN
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CHECKED BY: EHT

OUTDOOR PATIO
DETAILS

H112A

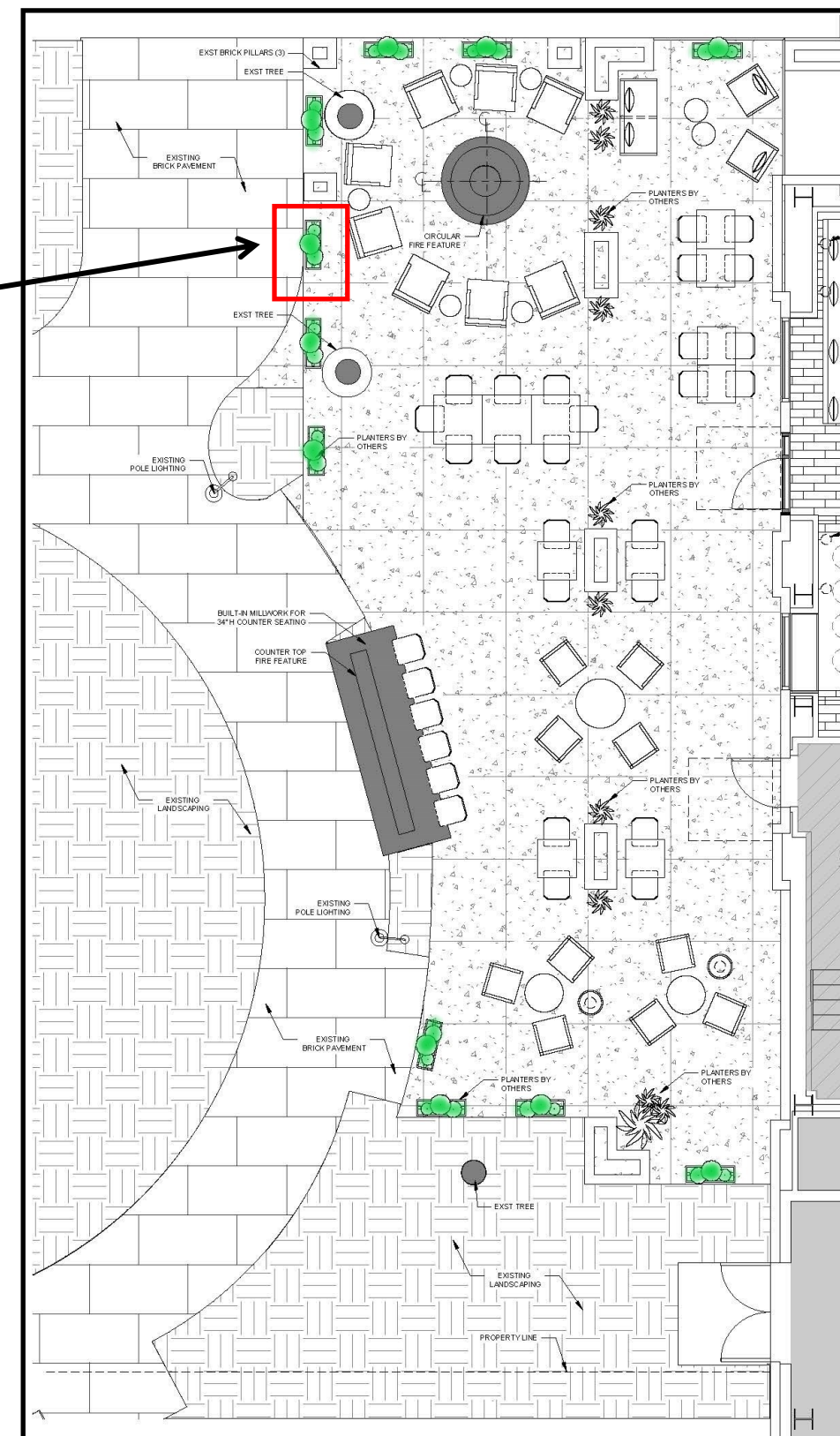
RESIDENCE INN - CAMBRIDGE, MA
Outdoor Experience - CRA Design Presentation
11/17/2021



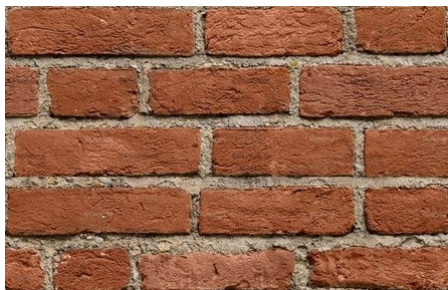


Slat Box Planter + Greenery

- Planter Box Size (incl Legs): 38"L x 11"D x 20"H
- Estimated Greenery Height: 12"
- Overall Planter + Greenery Dimensions: 38"L x 18"D x 32"H
- 36" spacing in-between planters.
- Teak Slats with Aluminum Stand, Zinc Liner

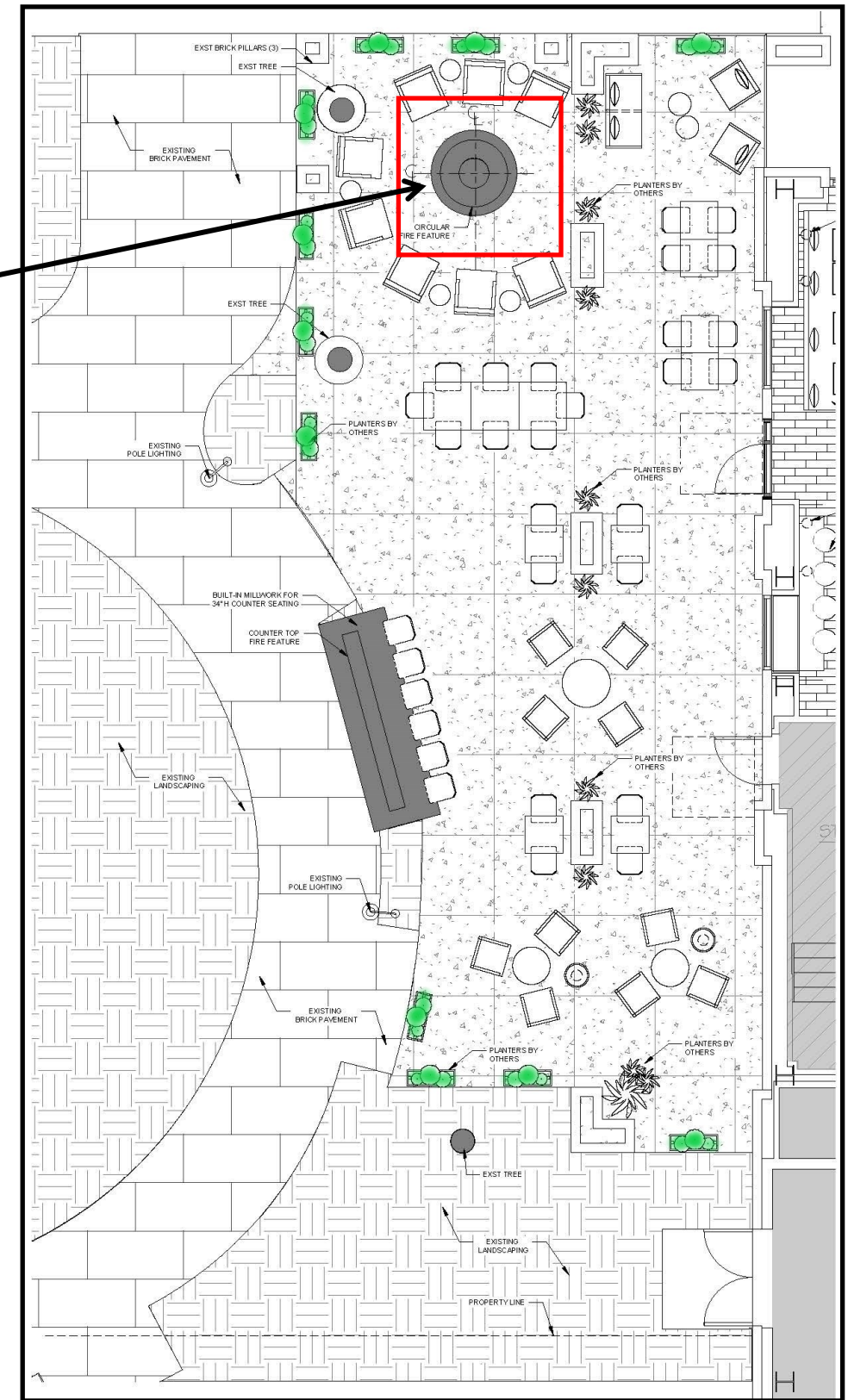


OUTDOOR PATIO PLAN

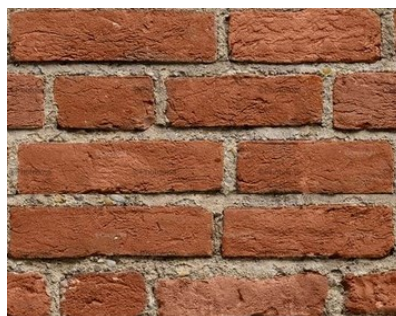


Communal Circular Fire Feature

- Overall Fire-Pit Diameter: 6'-6"
- Overall Fire-Pit Height: 2'-0"
- Solid Surface Surround: 14" Deep
- Stone Veneer at the vertical face of the Fire-Pit, similar to the existing building brick façade.

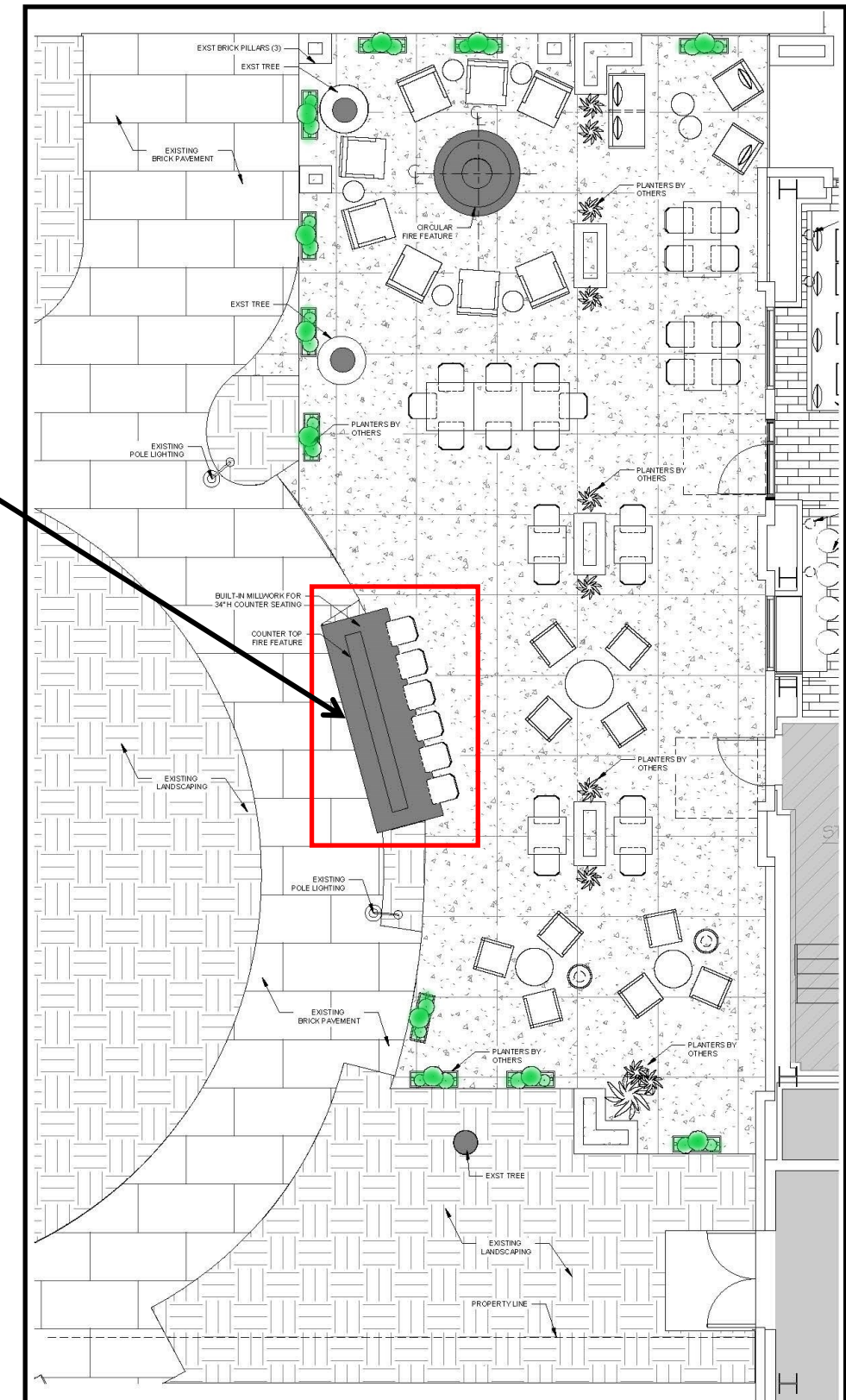


OUTDOOR PATIO PLAN

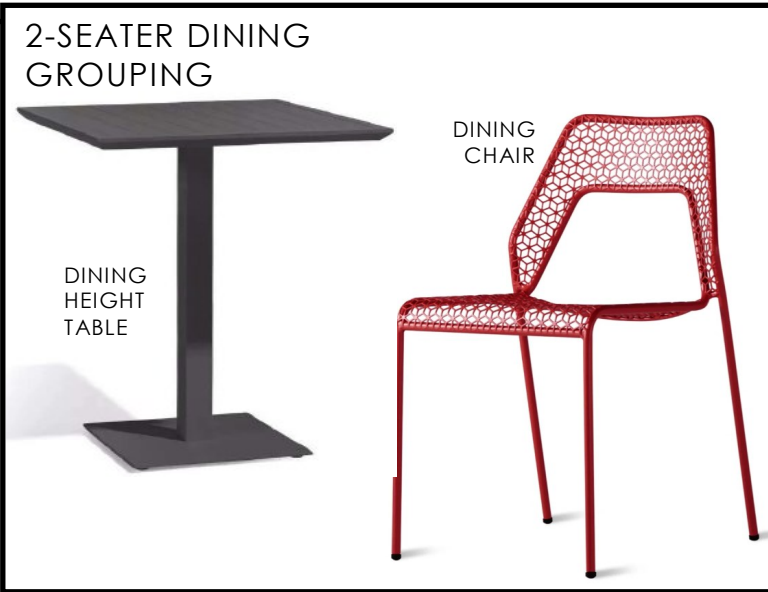
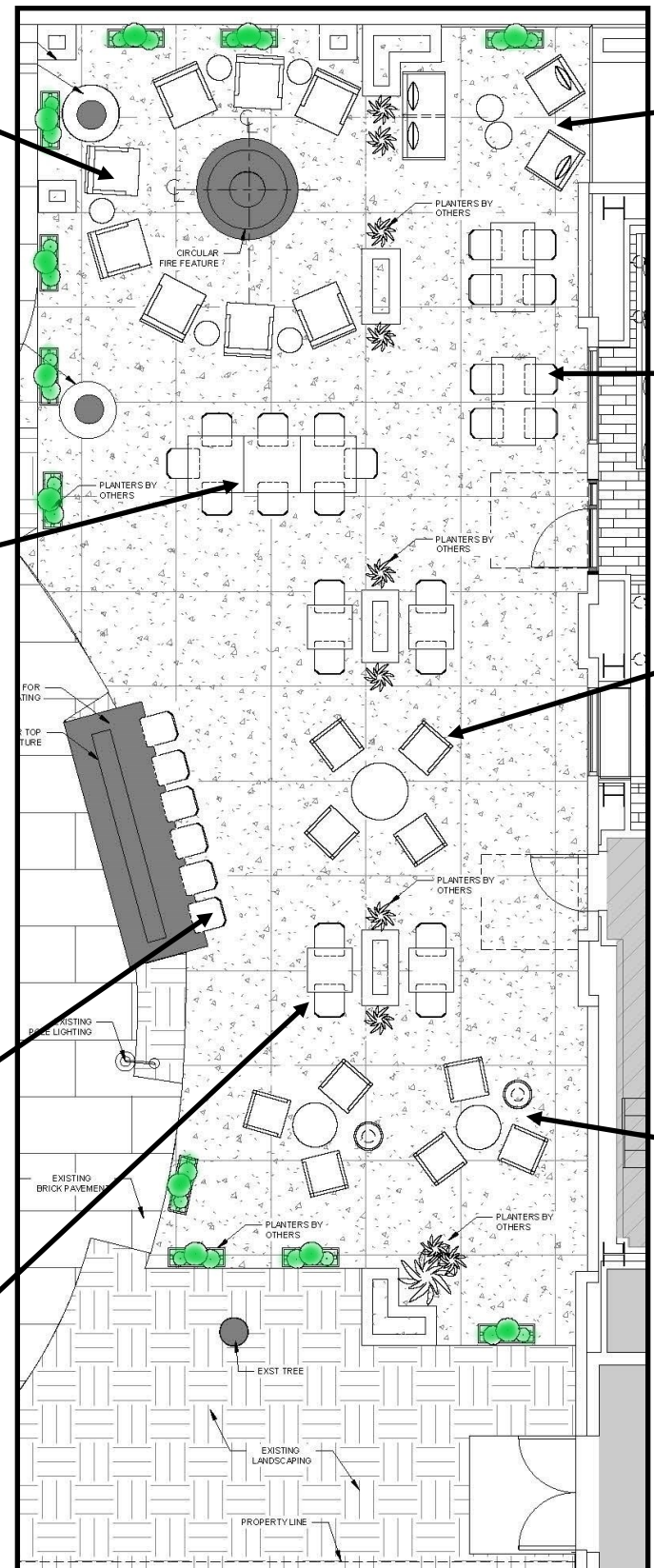
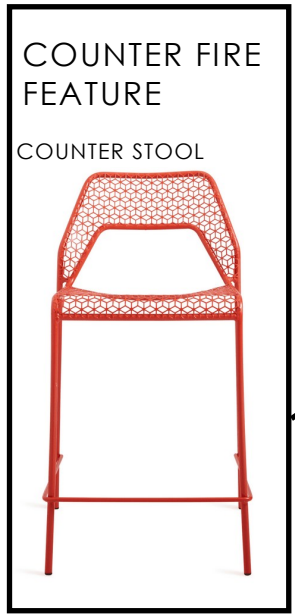


Countertop with Built-In Fire Feature

- Counter Dimensions: 13'-4"L x 4'-3" Deep
- Counter Height: 34" AFF
- Recessed Fire Element within the Counter, similar to Image A and B
- Solid Surface counter top with a glass flame guard enclosing the fire element, similar to Image B.
- Stone Veneer at the vertical face of the Counter element. Stone to match the stone cladding at the Circular Fire-Pit. Re Image A for overall Counter design aesthetic.



OUTDOOR PATIO PLAN

















THANK YOU.
